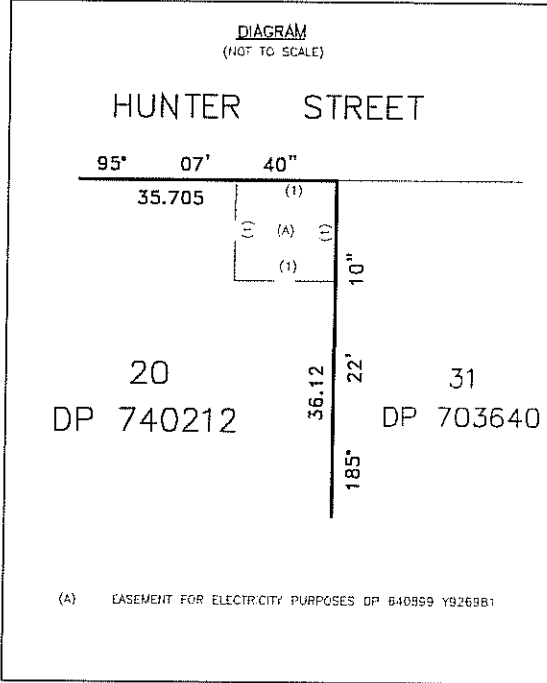
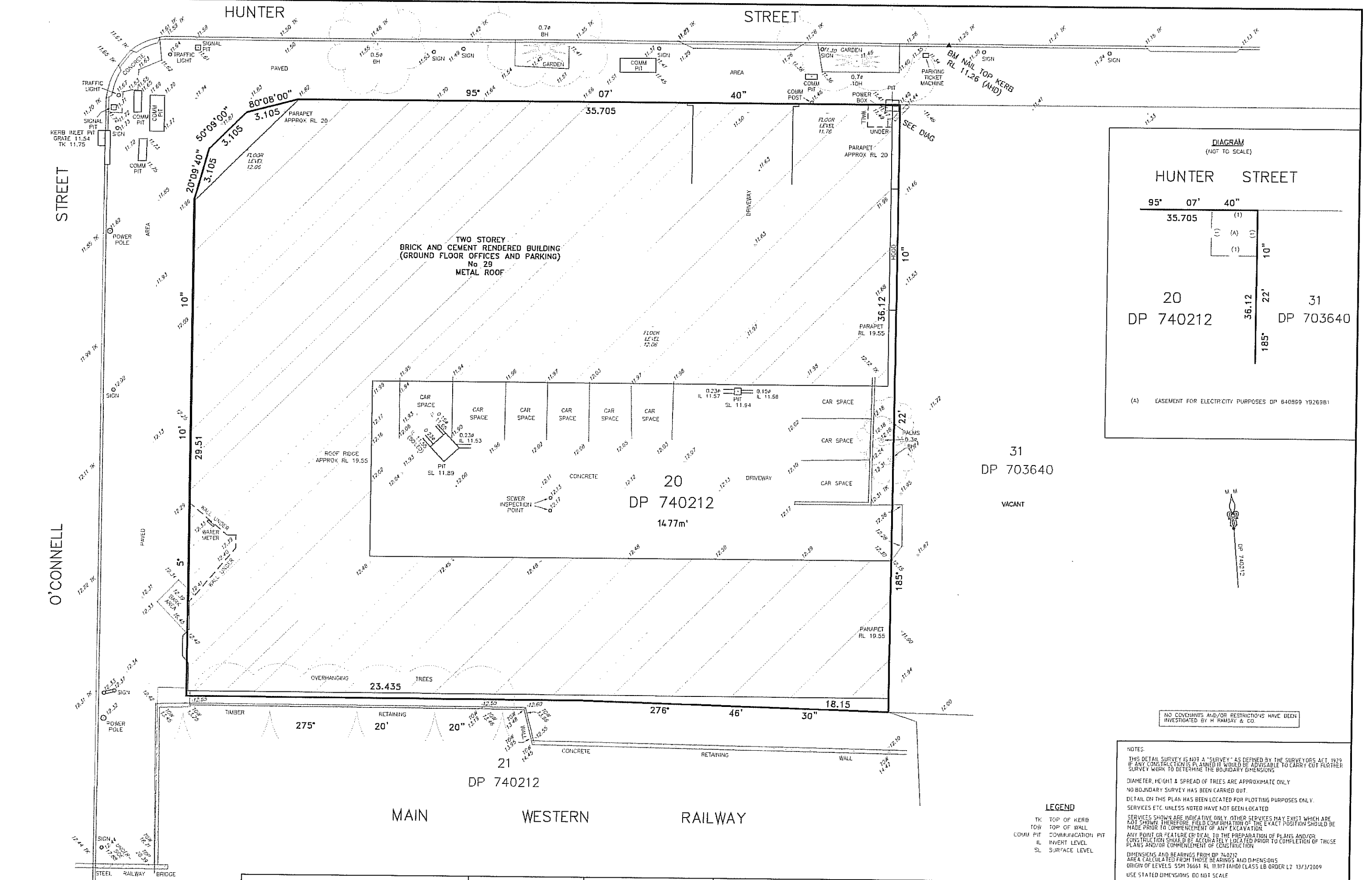




NOTES:

THIS DETAIL SURVEY IS NOT A "SURVEY" AS DEFINED BY THE SURVEYORS ACT, 1979. IF ANY CONSTRUCTION IS PLANNED IT WOULD BE ADVISABLE TO CARRY OUT FURTHER SURVEY WORK TO DETERMINE THE BOUNDARY DIMENSIONS.

DIAMETER, HEIGHT & SPREAD OF TREES ARE APPROXIMATE ONLY. NO BOUNDARY SURVEY HAS BEEN CARRIED OUT. DETAIL ON THIS PLAN HAS BEEN LOCATED FOR PLOTTING PURPOSES ONLY. SERVICES ETC. UNLESS NOTED HAVE NOT BEEN LOCATED.

SERVICES SHOWN ARE INDICATIVE ONLY. OTHER SERVICES MAY EXIST WHICH ARE NOT SHOWN. THEREFORE, FIELD CONFIRMATION OF THE EXACT POSITION SHOULD BE MADE PRIOR TO COMMENCEMENT OF ANY EXCAVATION.

ANY POINT OR FEATURE CRITICAL TO THE PREPARATION OF PLANS AND/OR CONSTRUCTION SHOULD BE ACCURATELY LOCATED PRIOR TO COMPLETION OF THOSE PLANS AND/OR COMMENCEMENT OF CONSTRUCTION.

DIMENSIONS AND BEARINGS FROM DP 740212 ARE CALCULATED FROM THOSE BEARINGS AND DIMENSIONS ORIGIN OF LEVELS: 55M 76661 RL 11.187 (AHD) CLASS LB ORDER L2 13/3/2009. USE STATED DIMENSIONS DO NOT SCALE.

LEGEND

TK TOP OF KERB
TOW TOP OF WALL
COMM PIT COMMUNICATION PIT
IL INVERT LEVEL
SL SURFACE LEVEL

AMENDMENTS		L.G.A.	INSTRUCTED BY:	H. RAMSAY & CO. SURVEYORS EST. 1962 H Ramsay & Company Pty Limited ACN 059 967 817 UNIT 1/142 JAMES RUSE DRIVE ROSEHILL P.O. BOX 9082 HARRIS PARK NSW 2150 PH: (02) 9635 5840 FAX: (02) 9806 0027 EMAIL: surveyor@hramsay.com.au www.hramsay.com.au	PLAN SHOWING DETAIL AND LEVELS OVER LOT 20 DP 740212 No 29 HUNTER STREET PARRAMATTA	SCALE 1:100 @ A1 DATUM AHD SURVEY MH BT DRAWN PVB DATE 11/3/2009 OUR REF 7332/09 SHEET 1 OF 2 SHEETS
DATE	DESCRIPTION					
		PARRAMATTA	ARCHITEX			
		LOCALITY: PARRAMATTA	RE: GELDAMA PTY LTD			

© THIS PLAN & THE INFORMATION CONTAINED HEREON REMAINS THE PROPERTY OF H RAMSAY & COMPANY AND MUST NOT BE COPIED IN WHOLE OR PART WITHOUT THE WRITTEN CONSENT OF H RAMSAY & COMPANY & IS NOT TO BE USED FOR ANY OTHER PURPOSE THAN FOR THAT WHICH IT HAS BEEN PREPARED. THIS PLAN HAS BEEN PREPARED FOR THE SOLE USE OF THE INSTRUCTING PARTY &/OR THEIR NOMINATED CLIENT.

Resident / Visitor Carriage

2.4m 6.5m

Resident Carriage (adjacent to wall)

2.7m 5.9m

Adaptable Resident Carriage

3.8m 5.9m

Disabled Visitor Carriage

2.4m 6.5m 2.4m access zone

Retail Carriage

2.5m 6.5m

Commercial Carriage

2.8m 6.5m

Note:

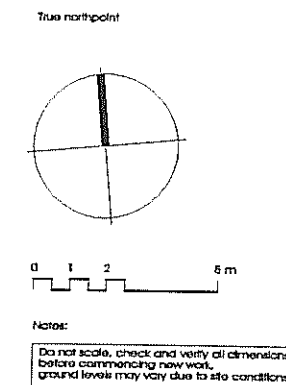
All disabled visitors carrying in accordance with AS2550.1 and adjacent residents parking in accordance with AS4299

Note:

All parking spaces are a minimum of 2.4m in width by 5.0m in length. Spaces increase to 2.7m in width where adjacent to a wall or an obstruction. Spaces increase to 3.0m where adjacent to walls on both sides. (in accordance with AS2550.1)

Note:

The Patent driveway ramp width, circulation stairs and vehicle turning areas shall be designed and constructed in accordance with AS2550.1 for two-way vehicle movements.



Legend

 Structural Floor Level

 Finished Reduced Level

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Ryerson city hall trans Architex
cabin 32 002 315 142

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Greshville, 2142

email@architex.com.au
www.architex.com.au

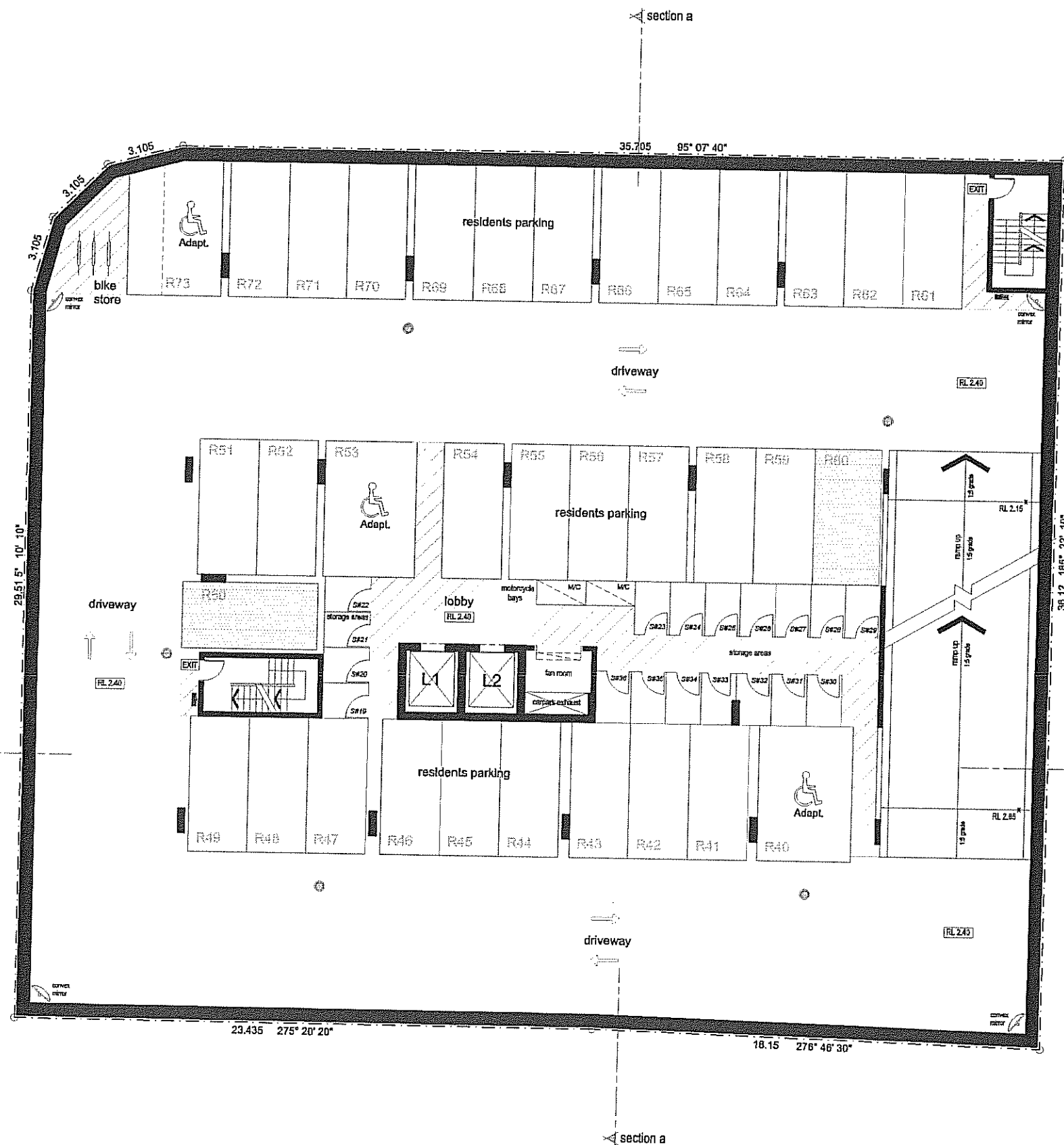
Tel. 0682 6088
Fax 0897 1606

Project Development Application Mixed Use Development		
Project address 29 Hunter Street Parramatta		
Client Geldama Pty. Ltd.		
Title Basement Level 4		
Drawn pdp	Scale 1:100 @ A1	Checked
Job No. 1941	Drawing No. DA02	Issue A

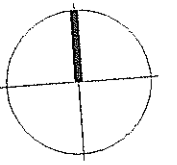
Basement Level 4

Carparking Legend

 Resident/Vistor Carpace 2.4m 5.5m
 Resident Carpace (adjacent to wall) 2.7m 5.5m
 Adaptable Resident Carpace 3.8m 5.5m
 Disabled Visitor Carpace 2.4m 5.5m Access Zone
 Retail Carpace 2.4m 5.5m
 Commercial Carpace 2.4m 5.5m
Note: All disabled visitors carparking in accordance with AD200.6 and adaptable residents parking in accordance with AD429.
Note: All parking spaces are a minimum of 2.4m in width by 5.5m in length. Space increases to 2.7m in width where adjacent to a wall or an obstruction. Spaces increase to 3.8m where adjacent to walls on both sides. (in accordance with AD200.1)
Note: The internal driveway ramp widths, circulation sides and vehicle turning areas shall be designed and constructed in accordance with AD200.1 for two-way vehicle movements.



True northpoint



0 1 2 5 m

Notes:
 Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.

section b

section b

section a

Basement Level 3

A Development Application Issues	11.03.11
P1 Pre-Design to Client	06.02.11
Issue description	Date

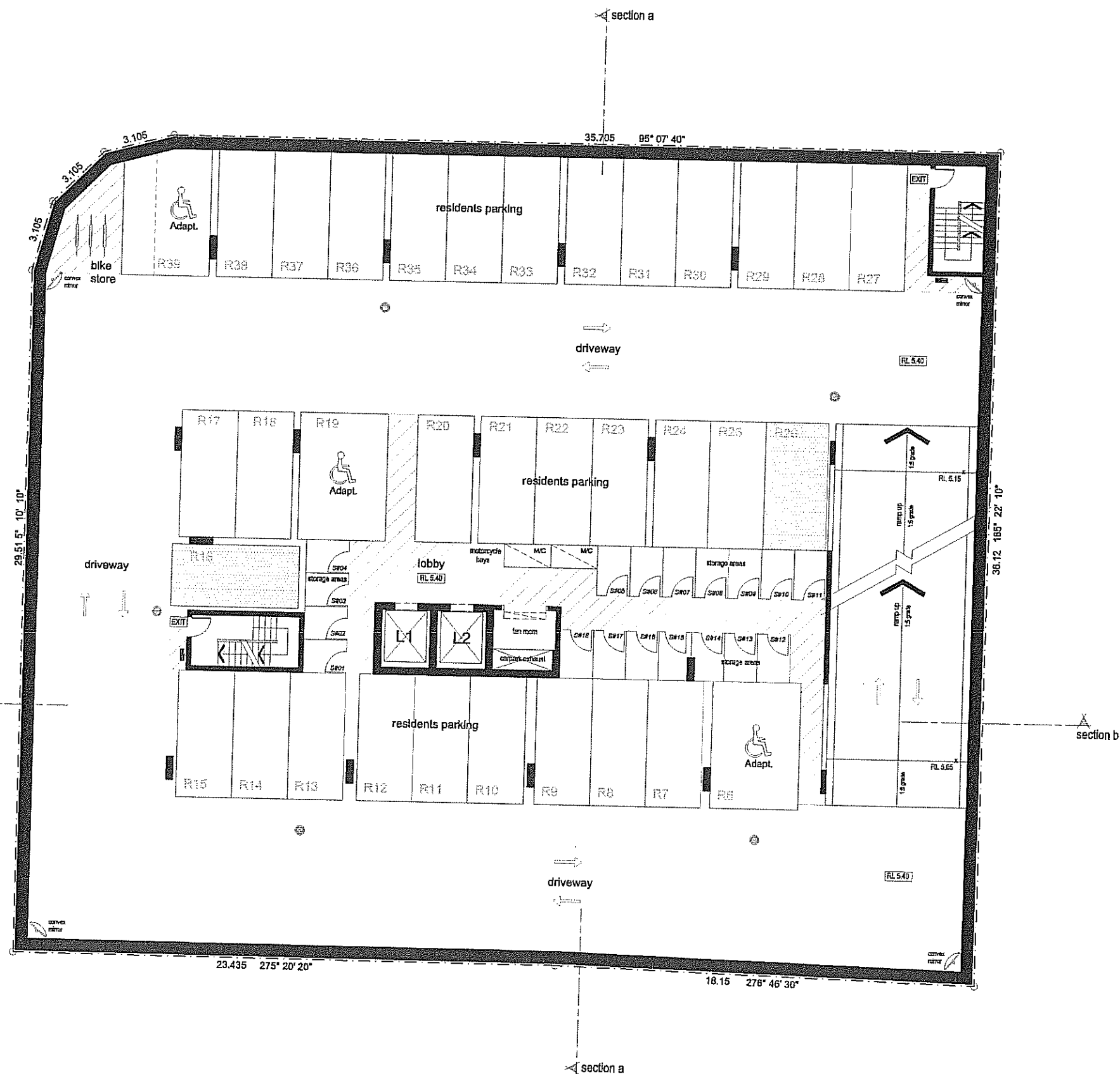
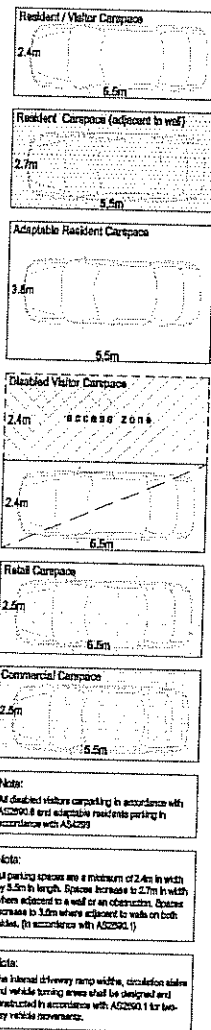
architex
 55 Cowper Street, Granville, 2142
 Tel: 9682 8088 Fax: 9682 1636
 email: info@architex.com.au www.architex.com.au

Project		Development Application Mixed Use Development	
Project address			
29 Hunter Street Paramatta			
Client			
Geldama Pty. Ltd.			
Title			
Basement Level 3			
Drawn	Scale	Checked	
pcp	1:100@A1		
Job No.	Drawing No.	Issue	
941	DA03	A	

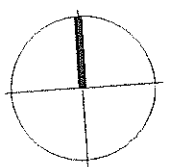
Note: All security shutters to be controlled by residents with remote air lay system access. All underground parking areas to be painted white.
Fence + Mail + Driveway Details: Refer to dwg no. DA22
Stormwater Details + Silt Levels: Refer to Hydraulic Eng. Drawings
Legend RL2.40 Structural Floor Level RL2.00 Finished Reduced Level

DEVELOPMENT APPLICATION

Carparking Legend



True northpoint



0 1 2 6 m

Notes:

Do not scale, check and verify all dimensions before commencing new work. Ground levels may vary due to site conditions.

section b

section b

section a

Basement Level 2

A Development Application Issue	11.03.11
P1 Prelim. Issue to Client	08.02.11
Issue description	Other

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Fax 9597 1606

DEVELOPMENT APPLICATION

Project	Development Application Mixed Use Development		
Project address	29 Hunter Street Parramatta		
Client	Geldama Pty. Ltd.		
Title	Basement Level 2		
Drawn	pdp	Scale	1:100@A1
Job No.	1941	Drawing No.	DA04
		Issue	A

Note:
All security studies to be controlled by residents with vehicle air lay system access.
All underground parking areas to be painted white.

Fence + Mail + Driveway Details:
Refer to dwg no. DA22

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend
Structural Floor Level
Finished Reduced Level

Resistor

2.5m

1.5 meter Cameras (above & below)

2m

Adaptive Hybrid Camera

5m

Diagonal View Types

1.5m 1.5m 1.5m

2m

Full Camera

5m

Conventional Camera

5m

Notes:

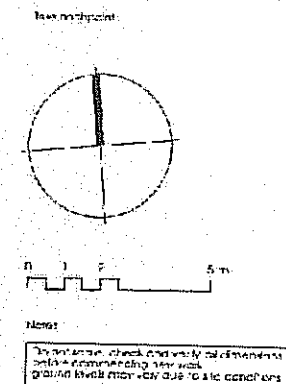
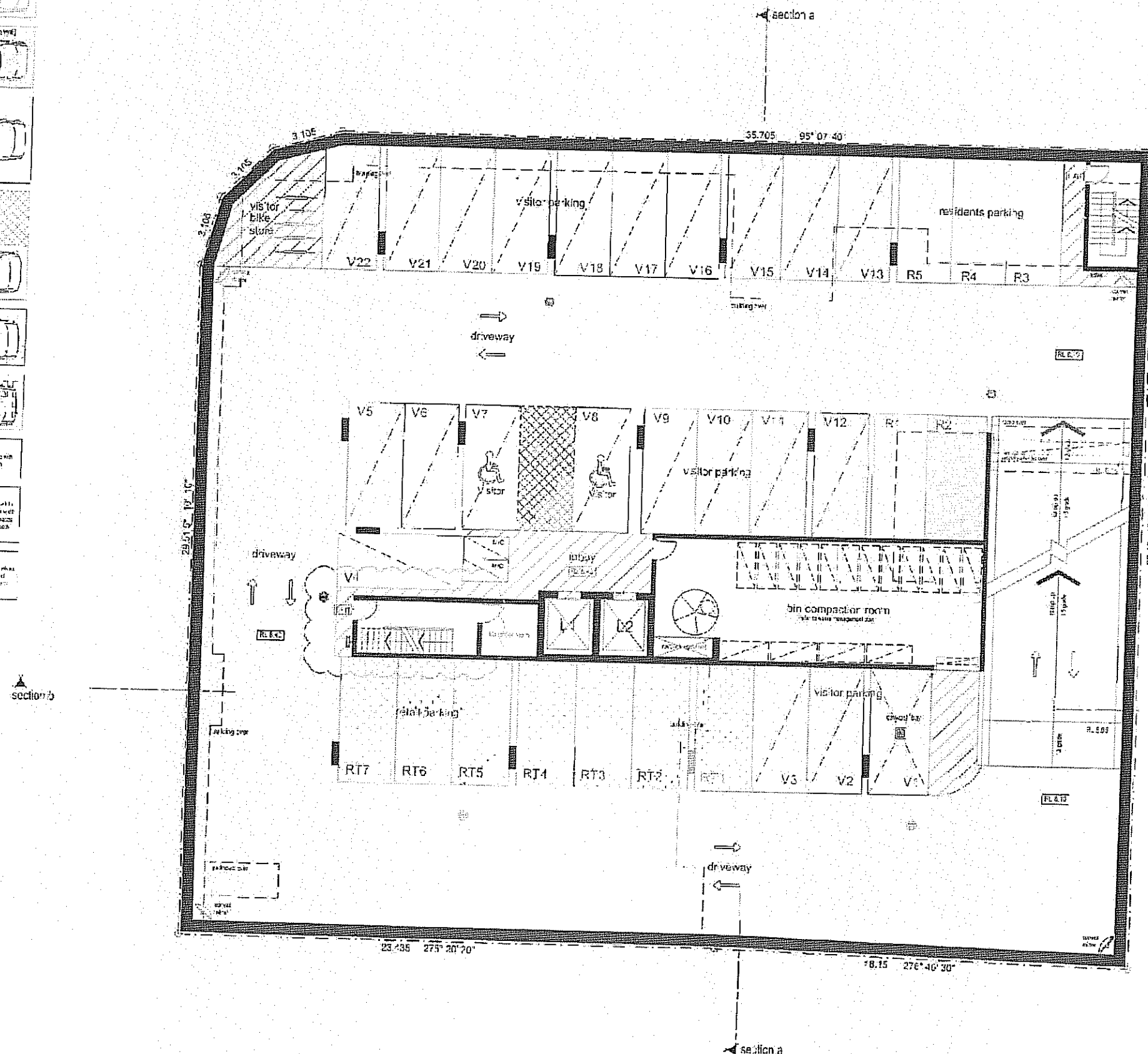
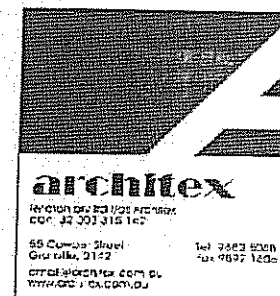
1. Full length camera covers 100% of the roadway with 2.5m in length. Maximum coverage is 2.5m across any distance across of the roadway. Maximum coverage is 2.5m across any y to any 100% full coverage with a 2.5m

Notes:

1. Full length camera covers 100% of the roadway with 2.5m in length. Maximum coverage is 2.5m across any distance across of the roadway. Maximum coverage is 2.5m across any y to any 100% full coverage with a 2.5m

Notes:

1. Full length camera covers 100% of the roadway with 2.5m in length. Maximum coverage is 2.5m across any distance across of the roadway. Maximum coverage is 2.5m across any y to any 100% full coverage with a 2.5m

[illegible][illegible]

Project
Development Application
Mixed Use Development

Project address:
129 Hunter Street Parramatta

Geldama Pty. Ltd.

Basement Level 1

Source	Source	Threshold
pdp	1:100@A1	
Latency	PostgreSQL	Time
941	PA05	E

Basement Level 1

Notes:
 1. A special parking fee is charged by the city.
 2. A special parking fee is charged by the city.
 3. A special parking fee is charged by the city.

Figura - Mid + Driveway Details
Refer to drawing DA22

Waste Management Details
Refer to dwg no. DA22

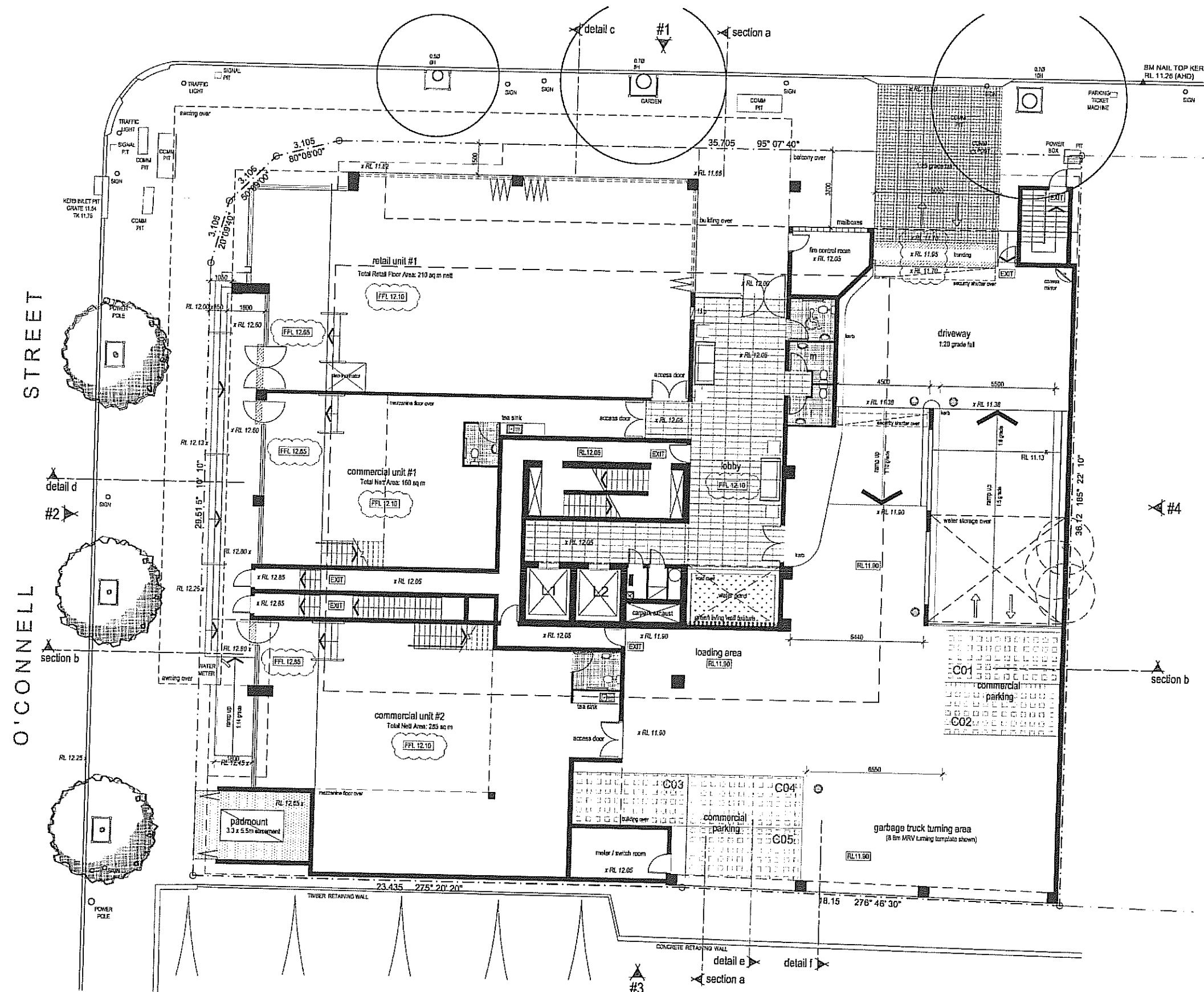
Stormwater Detention + Site Levels
Refer to Hydraulic Engineering

Legend

 Structure Flop

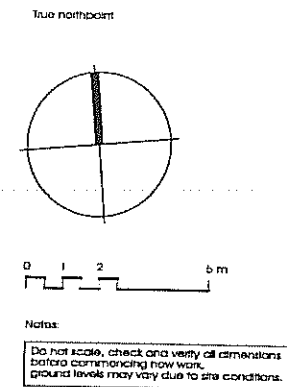
 Full Shad Ramp

DEVELOPMENT APPLICATION



LEGEND EXTERNAL WORKS MATERIALS

- Common Non-Slip Tiles
- Timber Decking / Timber Boardwalk
- Ornamental Gravel
- Feature Pond and Water Feature
- Concrete Stepping Pavers (various sizes)
- Feature Stone Tile Sound Wall
- Stone Garden Edging
- Timber Privacy Screen / Balustrade
- Existing Trees Retained
- Existing Trees Removed



total commercial nett area = 446 sq m
total retail nett area = 210 sq m
total = 655 sq m

G	Ground Floor levels amended in accordance with Flood Study	16.10.11
E	Ground floor amended + levels raised in accordance with Flood Study	25.07.11
D	MRV turning template added - Ground Floor amended accordingly	29.06.11
C	Amended to later recommendations	04.05.11
B	Amended for FM calculations	04.04.11
A	Development Application Issue	11.03.11
P1	Initial Issue to Client	06.02.11

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Fax 9697 1626

DEVELOPMENT APPLICATION

Project
Development Application
Mixed Use Development

Project address
29 Hunter Street Paramatta

Client
Geldama Pty. Ltd.

Title
Ground Level 1

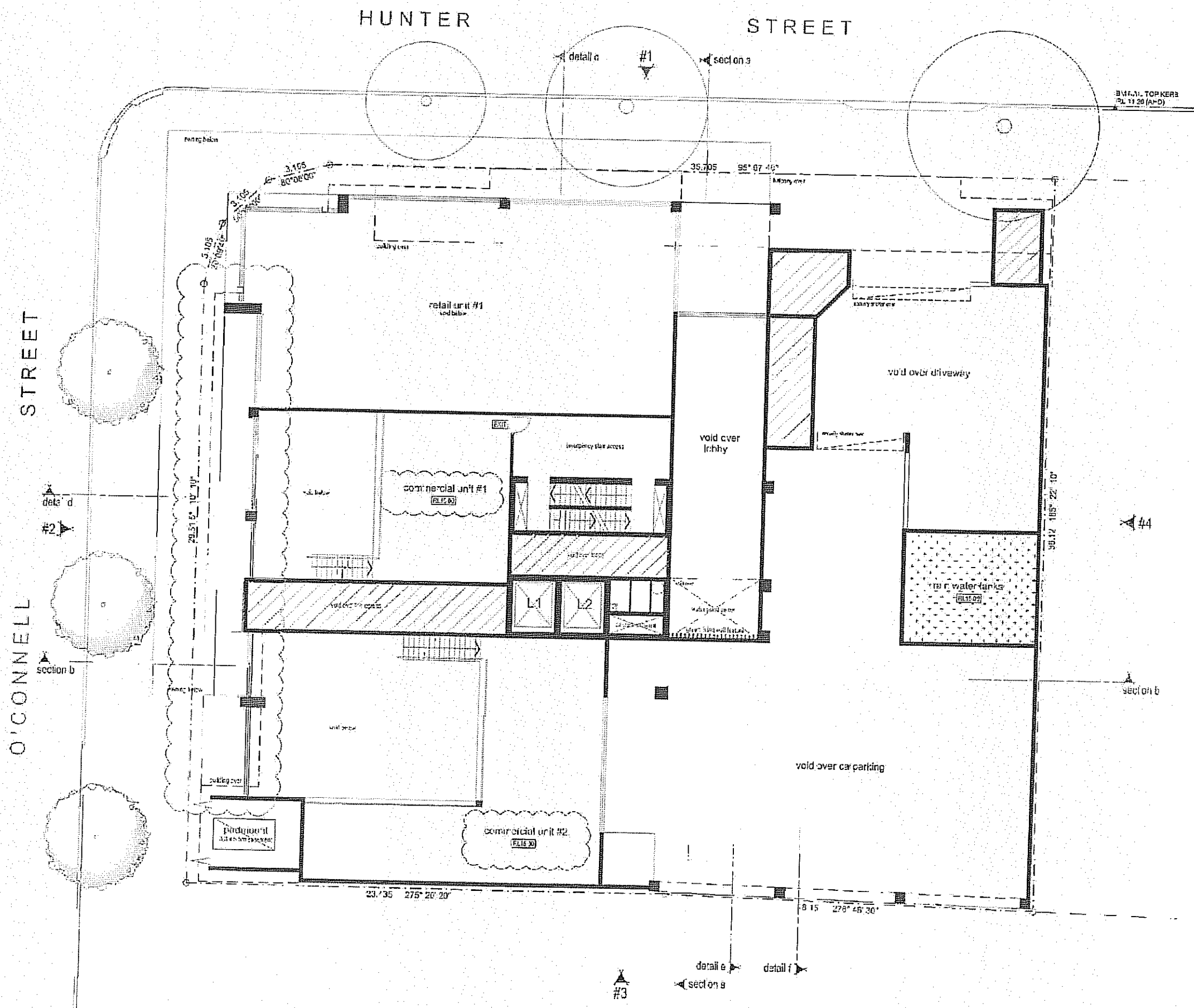
Drawn pdp	Scale 1:100@A1	Checked
Job No. 1941	Drawing No. DA06	Issue G

- Railway Infrastructure Plan:
Refer to dwg no. DA30
- Public Domain Plan:
Refer to dwg no. DA26
- Fence + Mail + Driveway Details:
Refer to dwg no. DA22
- Waste Management Plan:
Refer to dwg no. DA23
- Landscape Details:
Refer to Landscape Drawings
- Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Note:
The internal driveway ramp width, circulation paths and vehicle turning areas shall be designed and constructed in accordance with AS2890.1 for two-way vehicle movements.
All security shutters to be controlled by residents with remote air key system access.

Legend	
RL XXXX	Structural Floor Level
FFL XXXX	Finished Floor Level
RL XXXX	Finished Spot Level

Ground Level 1 - Mezzanine Floor



True North point

0 1 2 3 4 5 m

Notes:

1. All dimensions are in meters and are to the center of the wall unless otherwise indicated.

2. All dimensions are to be confirmed on site.

3. All dimensions are to be confirmed on site.

Item	Description	Quantity
1	Ground floor concrete + walls	27.00 m ²
2	First floor concrete + walls	27.00 m ²
3	Roof concrete + walls	27.00 m ²
4	Roof waterproofing	27.00 m ²
5	Roof insulation	27.00 m ²
6	Roof cladding	27.00 m ²
7	Roof drainage	27.00 m ²
8	Roof ventilation	27.00 m ²
9	Roof lighting	27.00 m ²
10	Roof security	27.00 m ²

architex

Architectural & Engineering Services

27.00 m²

27.00 m²

27.00 m²

27.00 m²

27.00 m²

27.00 m²

27.00 m²

27.00 m²

27.00 m²

27.00 m²

DEVELOPMENT APPLICATION	Project			Development Application - Mixed Use Development		
	Project Address			29 - Hunter Street Parramatta		
	Client			Cellco Pty Ltd		
	Title			Ground Level 1 Mezzanine Floor		
	Drawn	pop	Scale	1:100 (A1)	Checked	
	1941	Scale	1:100 (A1)	Checked		
	1941	Scale	1:100 (A1)	Checked		

Structural Details + Site Levels

Refer to Hydraulic Eng. Drawings

Legend

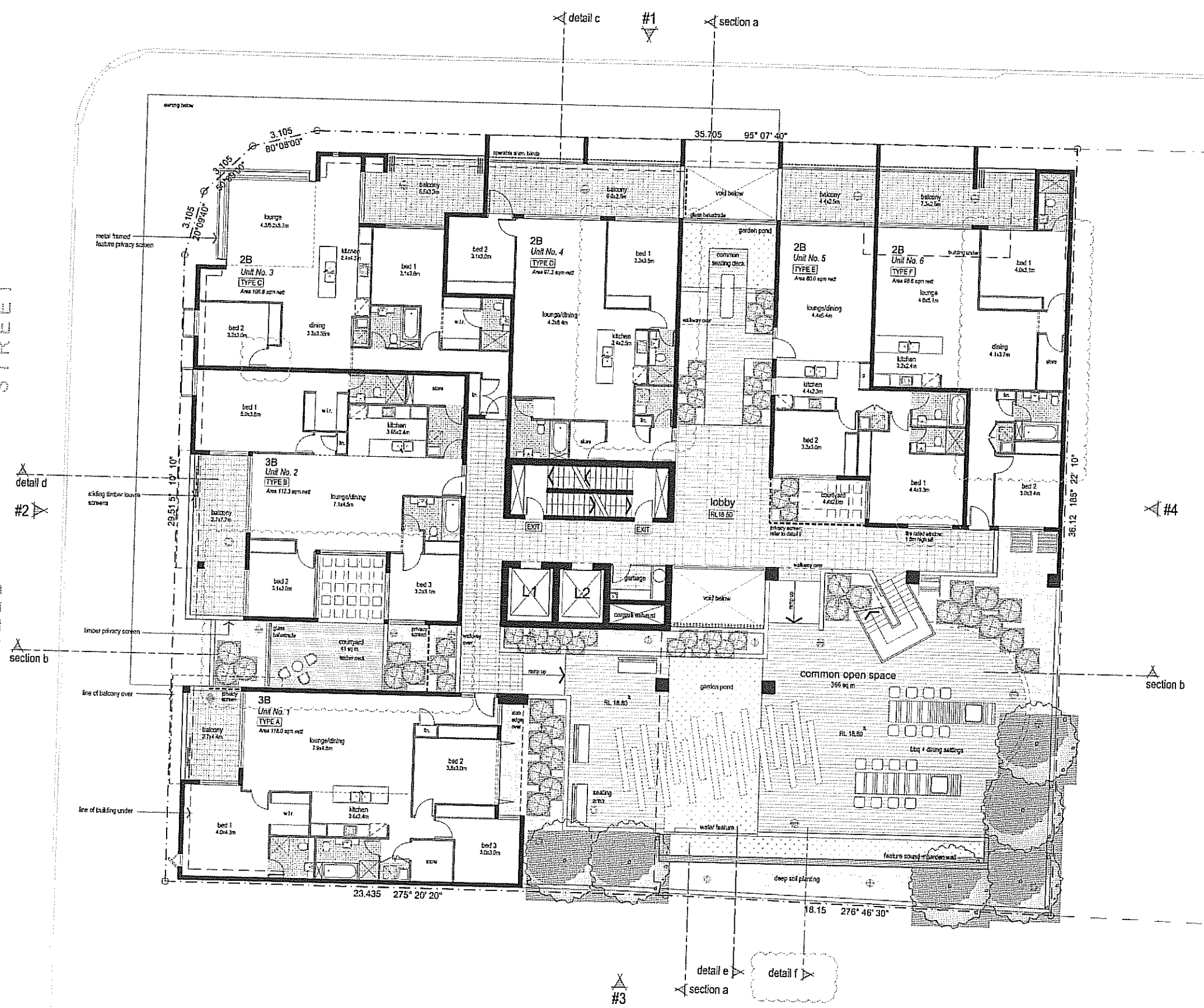
Structural Floor Level

Refer to Hydraulic Eng. Drawings

O'CONNELL STREET

HUNTER STREET

MAIN WESTERN RAILWAY



LEGEND
EXTERNAL WORKS MATERIALS

- Common Non-Slip Tiles
- Timber Decking / Timber Boardwalk
- Ornamental Gravel
- Feature Pond and Water Feature
- Concrete Stepping Pavens (various sizes)
- Feature Stone Tile Sound Wall
- Stone Garden Edging
- Timber Privacy Screen / Balustrade
- Existing Trees Retained
- Existing Trees Removed

True northpoint

0 1 2 5 m

Notes:
Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

C	Amended to DRP Recommendations	04.05.11
S	Amended for PDR Calculations	04.04.11
A	Development Application Issue	11.03.11
P1	Permits Issue to Client	06.02.11
Issue description		Date

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DEVELOPMENT APPLICATION

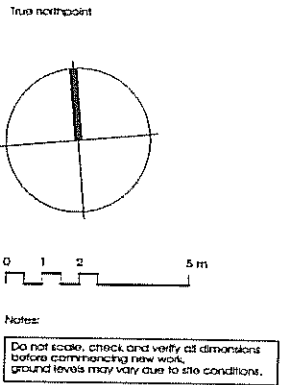
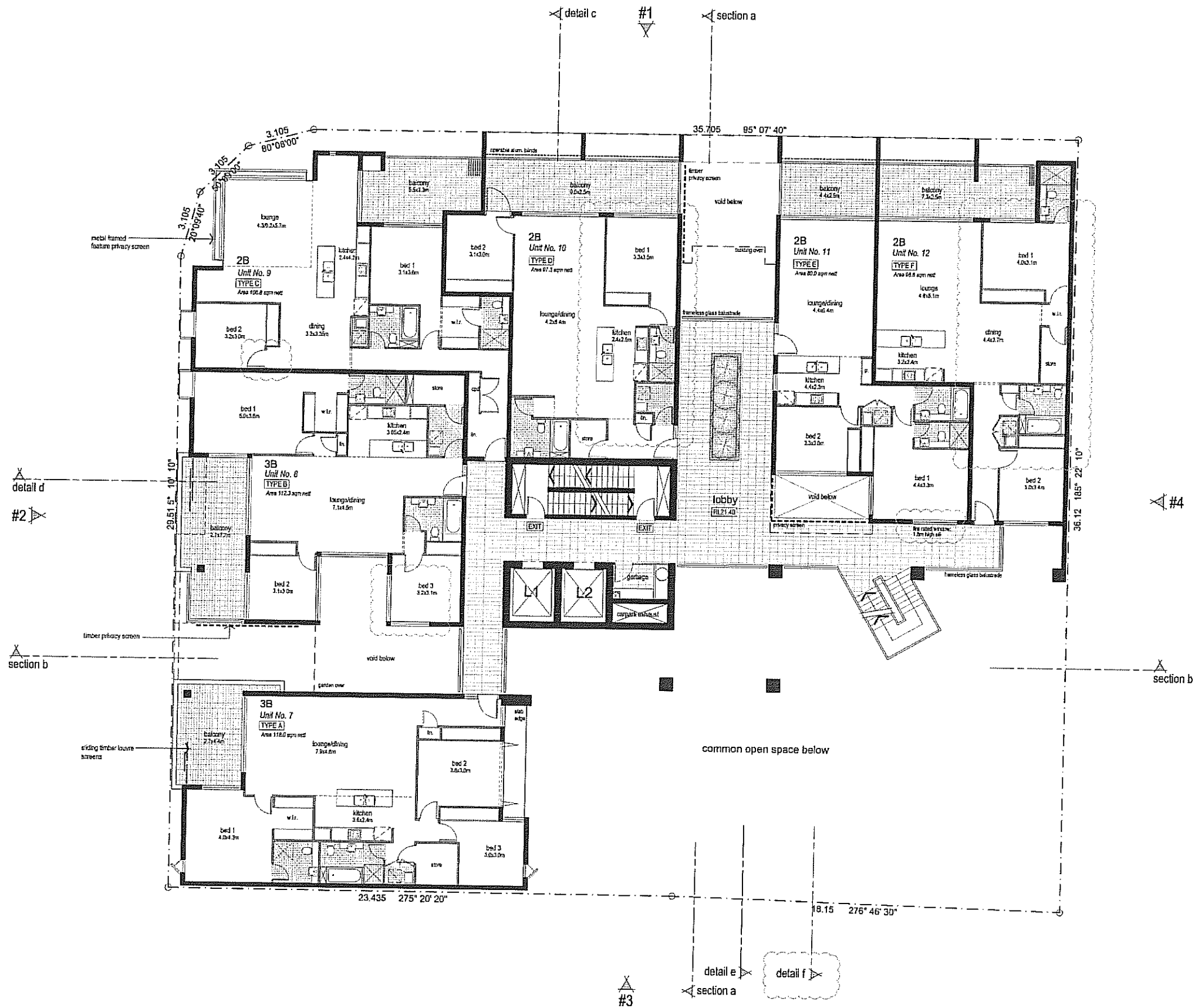
Project	Development Application Mixed Use Development	
Project address	29 Hunter Street Parramatta	
Client	Geldama Pty. Ltd.	
Title	Podium Level 2	
Drawn	Scale	Checked
pdp	1:100@A1	
Job No.	Drawing No.	Issue
1941	DA08	C

Landscape Details:
Refer to Landscape Drawings

Stormwater Details + Site Levels:
Refer to Hydraulic Eng. Drawings

Legend

[Hatched] Structural Floor Level
[Dotted] Finished Reduced Level



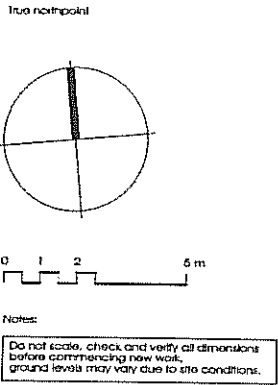
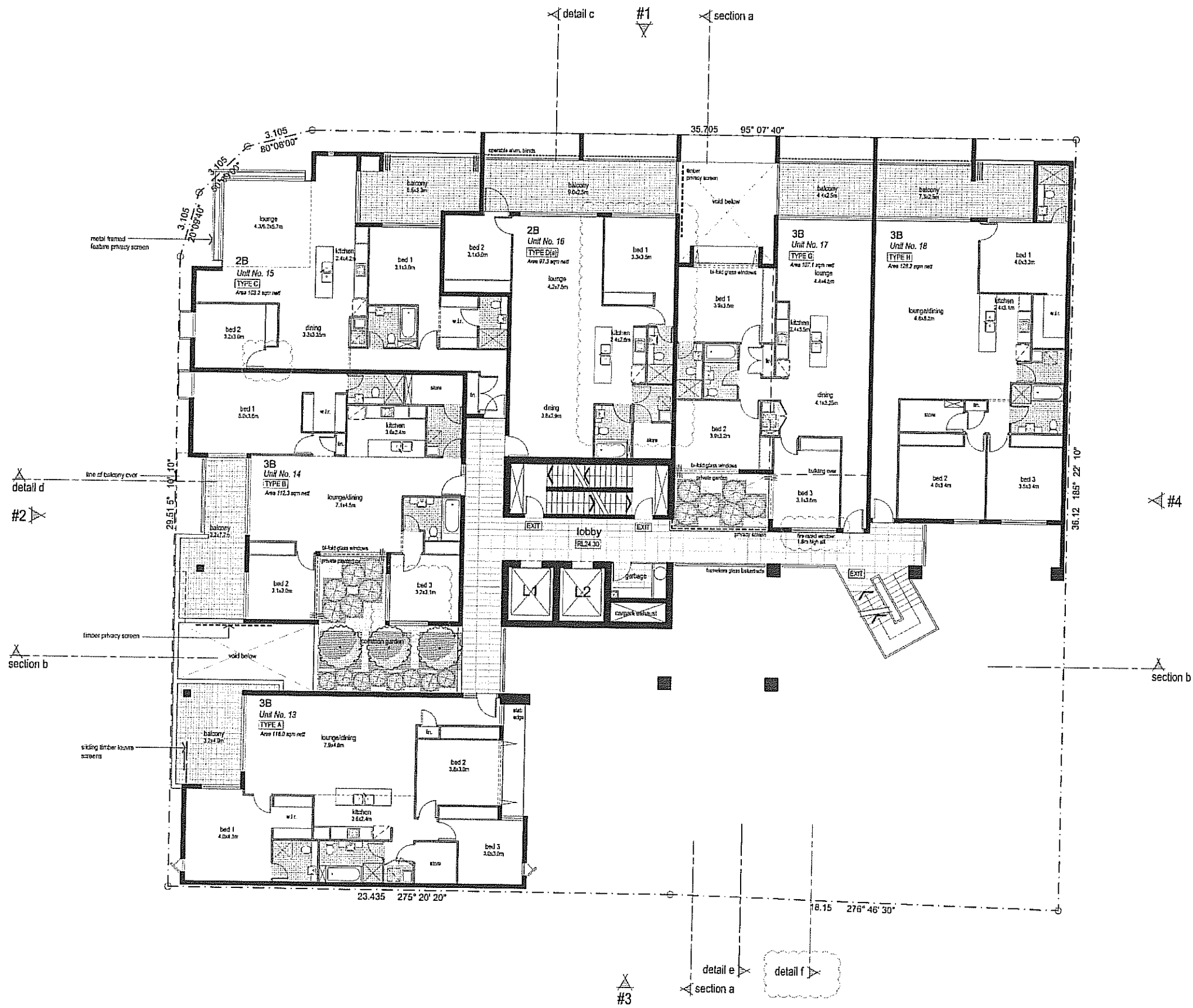
C	Amended to DTP Recommendations	04.05.11
B	Amended for FSR Calculations	04.04.11
A	Development Application Issue	11.03.11
P1	Prelim. Issue to Client	05.02.11
Issue Description		Date

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fax 9697 1656

DEVELOPMENT APPLICATION	Project	Development Application Mixed Use Development
	Project address	29 Hunter Street Parramatta
	Client	Geldama Pty. Ltd.
	Title	Podium Level 3
	Drawn	pdp
Scale		1:100@A1
Job No.		1941
Drawing No.		DA09
Issue		C

Landscape Details: Refer to Landscape Drawings	
Legend	
XXXXX	Structural Floor Level
XXXXX	Finished Reduced Level



C	Amended to ISP Recommendations	04.05.11
B	Amended for FSI Calculations	04.04.11
A	Development Application Issue	11.03.11
PI	Prelim. Issue to Client	06.02.11

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mob 32 003 315 142

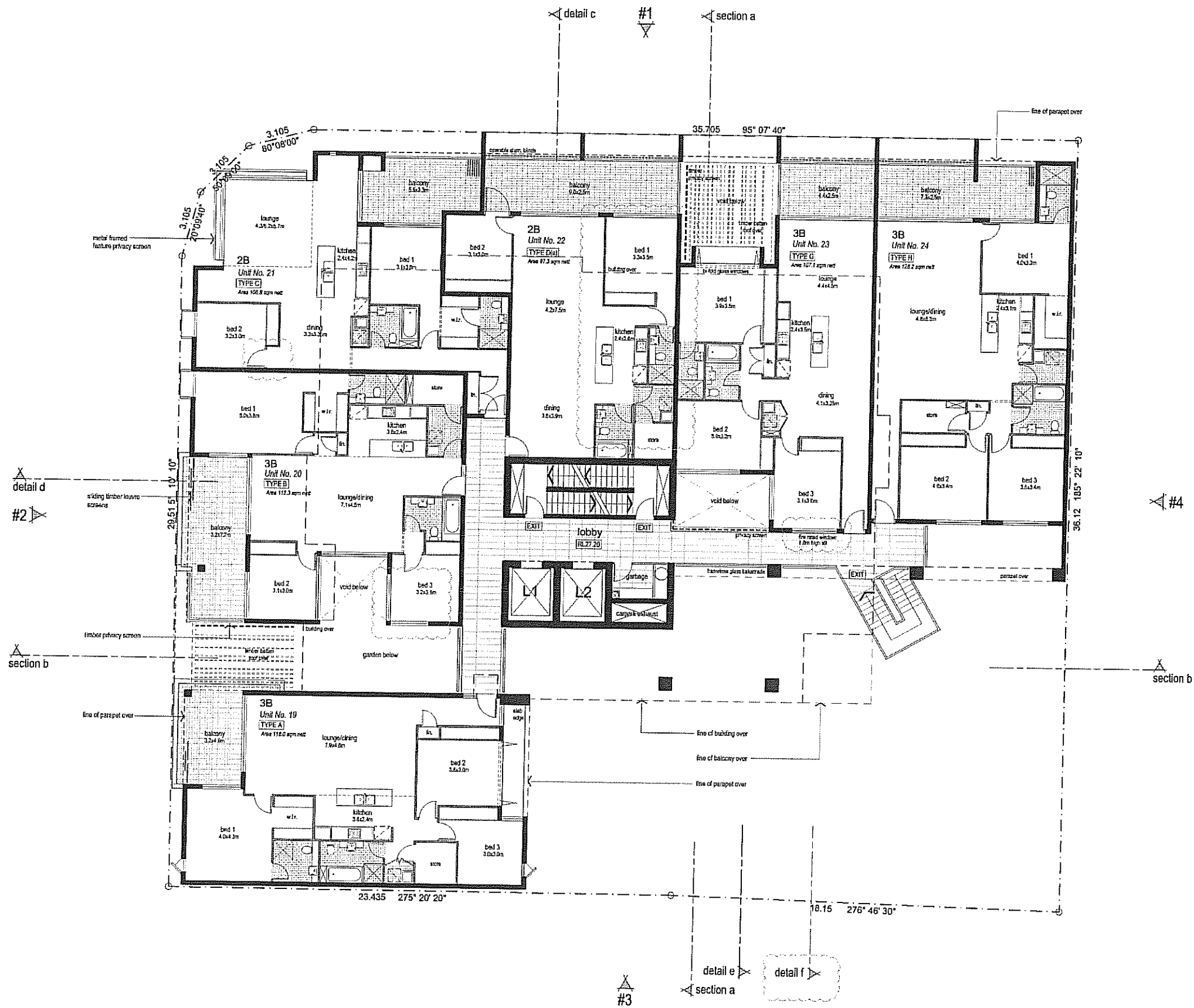
55 Cowper Street,
Granville, 2142

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fax 9687 1656
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www.architex.com.au

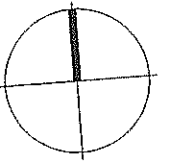
DEVELOPMENT APPLICATION

Project Development Application Mixed Use Development		
Project address 29 Hunter Street Parramatta		
Client Geldarna Pty. Ltd.		
Title Podium Level 4		
Drawn pdp	Scale 1:100@A1	Checked
Job No. 1941	Drawing No. DA10	Issue C

Landscape Details: Refer to Landscape Drawings	
Legend	
Structural Floor Level	
Finished Reduced Level	



True northpoint



0 1 2 5 m

Notes:

Do not scale, check and verify all dimensions before commencing new work, ground levels may vary due to site conditions.

C	Amended to DTP Recommendations	04.06.11
B	Amended for FSI Calculations	04.04.11
A	Development Application Issue	11.03.11
P1	Prelim. Issue to Client	08.02.11

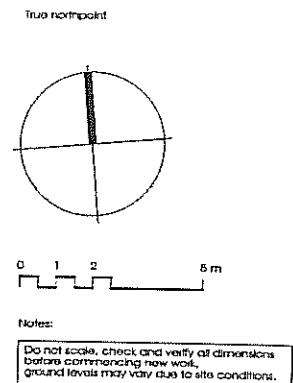
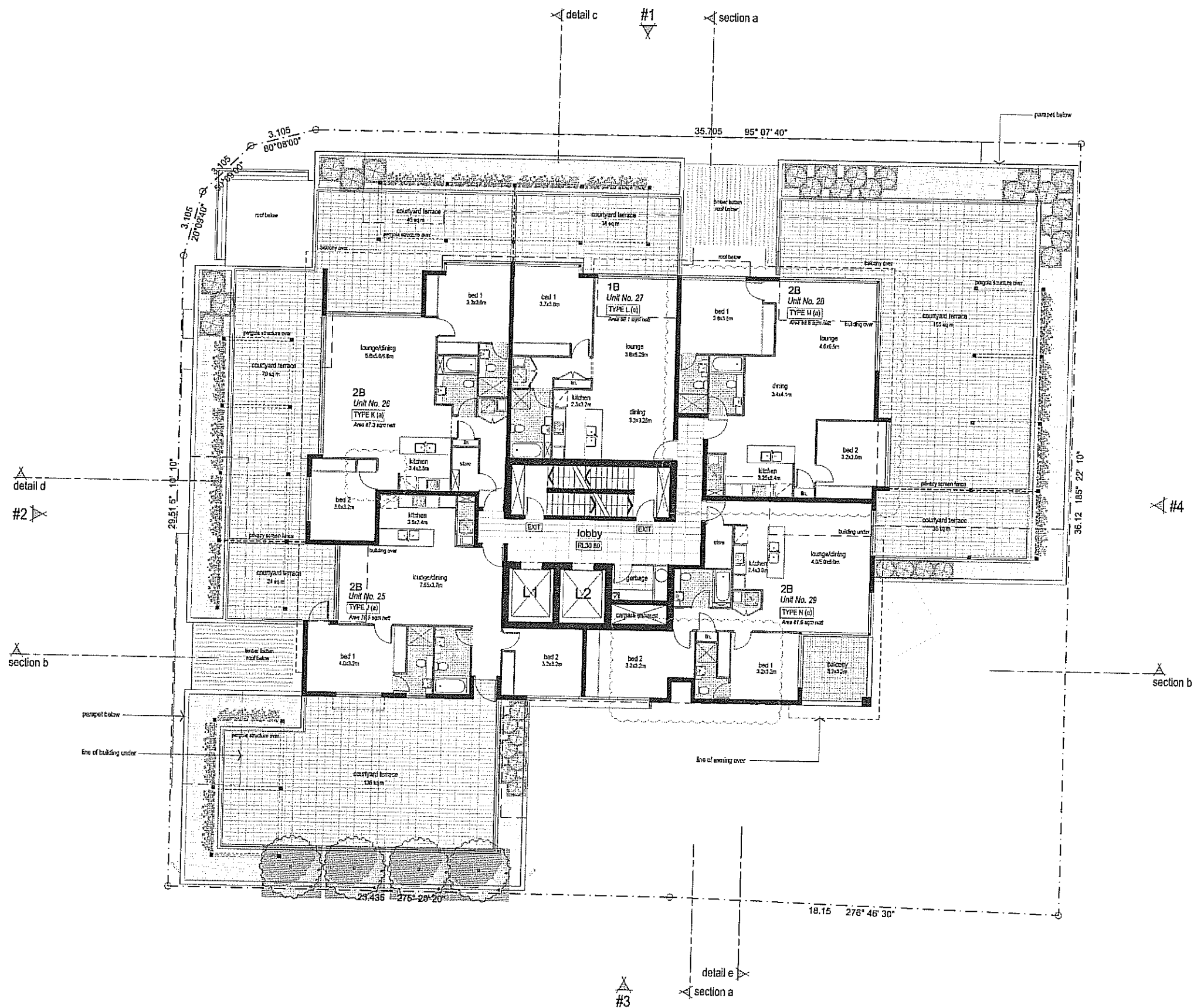
Issue Description	Date
-------------------	------

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DEVELOPMENT APPLICATION	Project	Development Application Mixed Use Development		
	Project address	29 Hunter Street Parramatta		
	Client	Geldama Pty. Ltd.		
	Title	Podium Level 5		
	Drawn	Scale	Checked	
	Job No.	Drawing No.	Issue	
	1941	DA11	C	

Landscape Details: Refer to Landscape Drawings	
Legend	
XXXXX	Structural Floor Level
XXXXX	Finished Reduced Level

Podium Level 6



Issue description	Date
C. Amended to DRP Recommendations	04.05.11
B. Amended for EIR Calculations	04.04.11
A. Development Application Issues	11.03.11
P1. Prelim. Issue to Client	06.02.11

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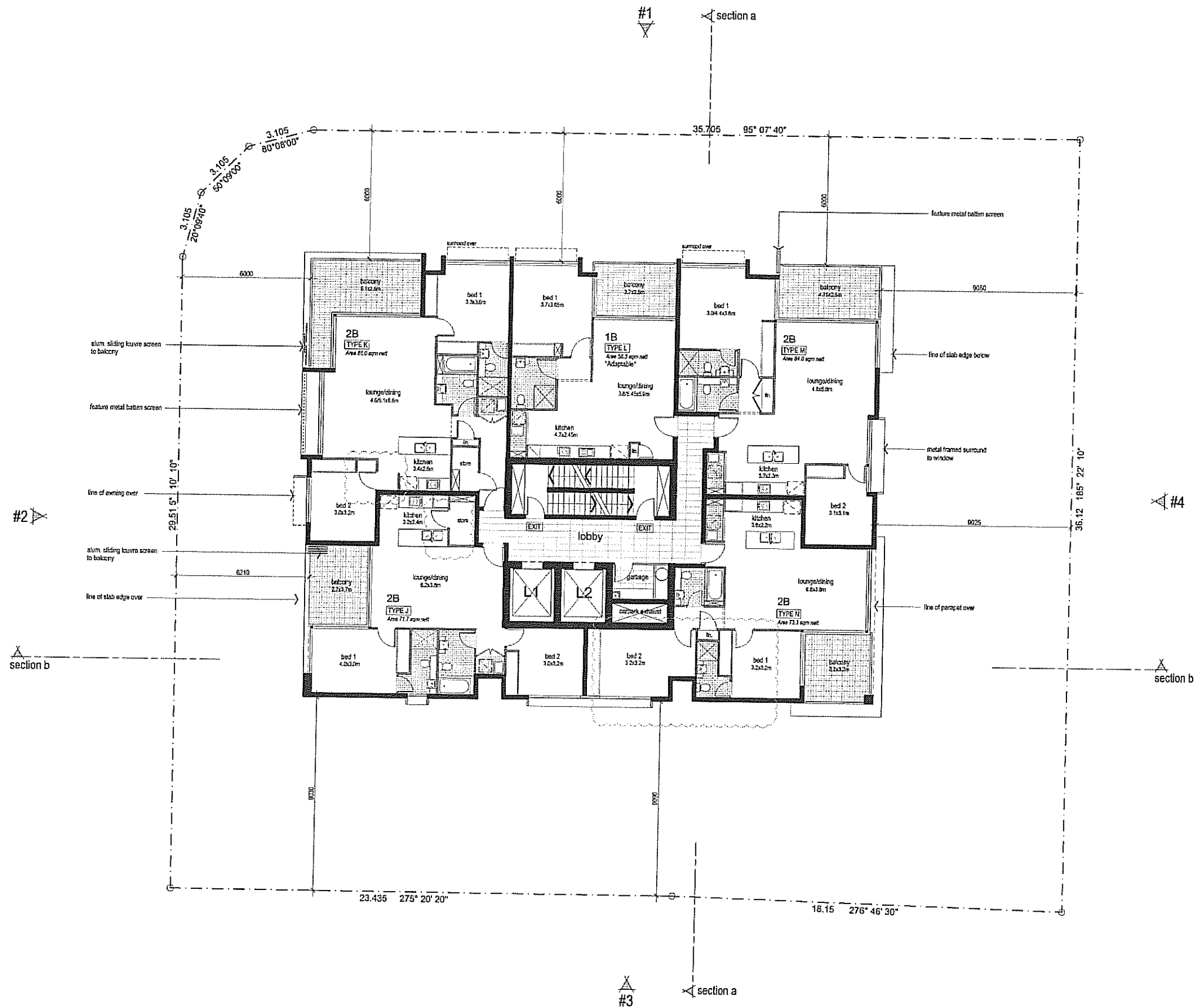
Tel: 9662 5088
Fax: 9997 1696

DEVELOPMENT APPLICATION

Project Development Application Mixed Use Development		
Project address 29 Hunter Street Parramatta		
Client Geldama Pty. Ltd.		
Title Podium Level 6		
Drawn pdp	Scale 1:100@A1	Checked
Job No. 1947	Drawing No. DA12	Issue No. C

Landscape Details: Refer to Landscape Drawings	
Legend	
XXXXXX	Structural Floor Level
XXXXXX	Finished Reduced Level

Typical Tower Levels 7 to 17



Post-Adaptable Layout:
Refer to dwg no. DA25

Typical Furniture Layouts:
Refer to dwg no. DA25

Legend

XXXXXX	Structural Floor Level
XXXXXX	Finished Reduced Level

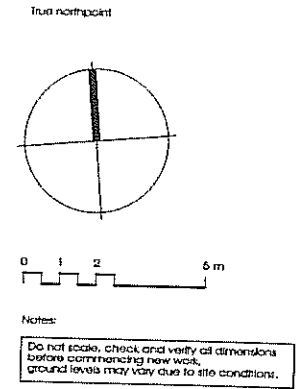
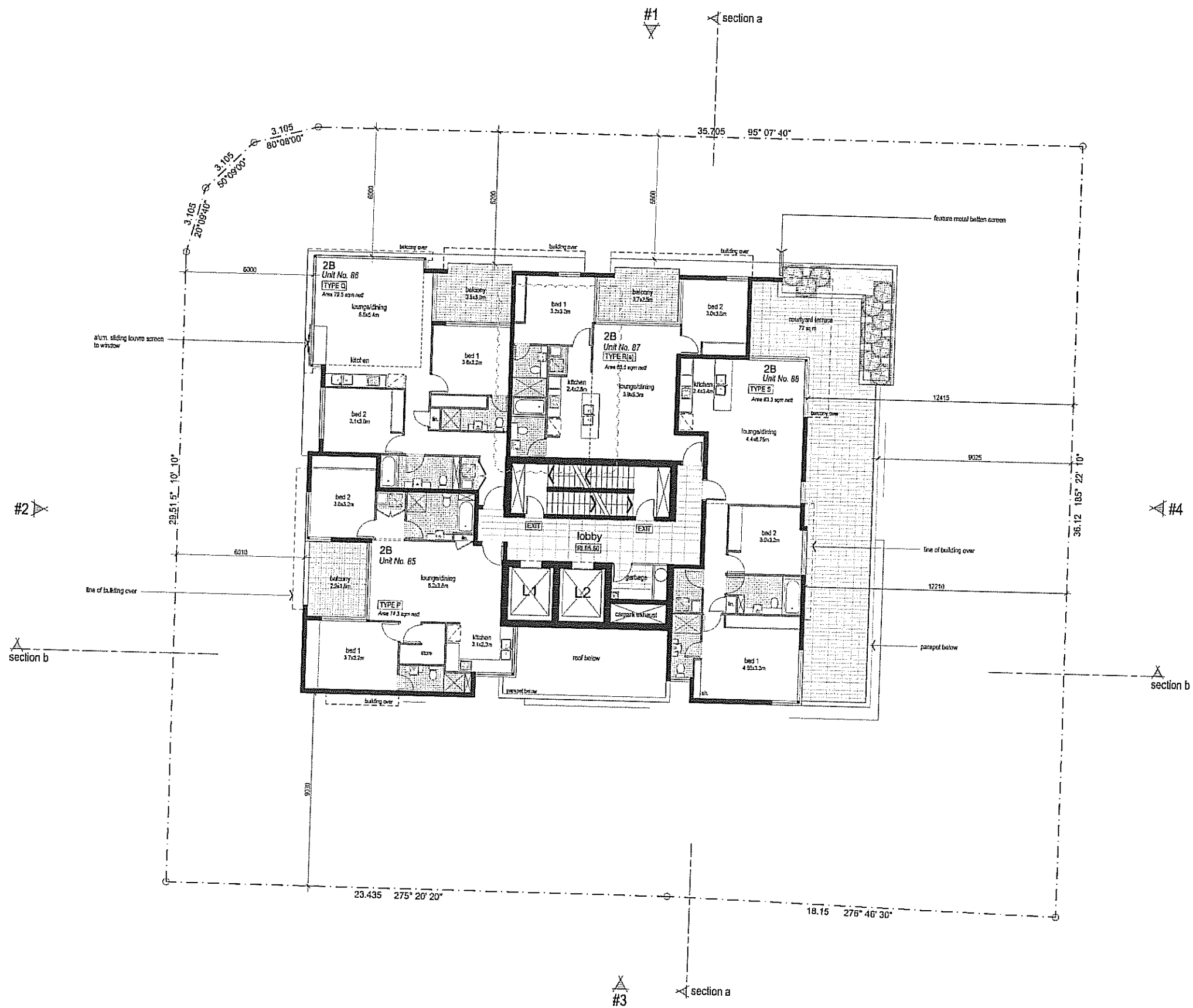
DEVELOPMENT APPLICATION

Project Development Application Mixed Use Development		
Project address 29 Hunter Street Parramatta		
Client Geldama Pty. Ltd.		
Title Typical Tower Levels 7 to 17		
Drawn pdp	Scale 1:100@A1	Checked
Job No. 1941	Drawing No. DA13	Issue C

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www.architex.com.au

Tel: 9662 5088
Fax: 9897 1606

Issue description	Date
C. Amended to DRP Recommendations	04.05.11
B. Amended for FSI Calculations	04.04.11
A. Development Application Issue	11.03.11
P1. Prelim. Issue to Client	08.02.11



C	Amended to DTP Recommendations	04.05.11
S	Amended for FSI Calculations	04.04.11
A	Development Application Issue	11.03.11
P1	Prelim. Issue to Client	08.02.11
Issue description		Date

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Granville, 2142 Fax 9597 1606
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www.architex.com.au

DEVELOPMENT APPLICATION	Project	Development Application Mixed Use Development	
	Project address	29 Hunter Street Parramatta	
	Client	Geldama Pty. Ltd.	
	Title	Tower Level 18	
	Drawn	Scale	Checked
	pdp	1:100@A1	
	Job No.	Drawing No.	Rev
	1941	DA14	C

Legend
[Hatched Box] Structural Floor Level
[Stippled Box] Finished Reduced Level